

**Cumberland County Jail**  
**Existing Medical Upgrades – DRAFT PRICING**

<b>00 - General Conditions Totals</b>	<b>\$378,300</b>
General Conditions	\$378,300
<b>01 – General Requirements Totals</b>	<b>\$112,476</b>
General Requirements	\$112,476
<b>02 – Existing Conditions and Demolition Totals</b>	<b>\$16,905</b>
Selective Demolition	\$16,905
<b>03 – Concrete</b>	<b>NIC</b>
<b>04 – Masonry</b>	<b>NIC</b>
<b>05 – Metals Totals</b>	<b>\$6,154</b>
Misc. Metals – SS Shower Enclosure	\$6,154
<b>06 – Woods and Plastics Totals</b>	<b>\$17,500</b>
Rough Carpentry	\$10,000
Finish Carpentry - Millwork	\$7,500
<b>07 – Thermal and Moisture Protection Totals</b>	<b>NIC</b>
<b>08 – Doors/Frames/Hardware Totals</b>	<b>\$43,807</b>
Doors/Frames/Hardware	\$43,807
<b>09 – Finishes Totals</b>	<b>\$94,318</b>
GWB Half Wall	\$9,950
ACT	\$7,160
Flooring	\$30,468
Epoxy Flooring	\$7,000
Paint	\$39,740

<b>10 – Specialties Totals</b>	<b>\$34,372</b>
Signage	\$3,000
Cell Padding	\$30,872
Fire Extinguishers	\$500
<b>21 – Fire Suppression Totals</b>	<b>\$2,332</b>
Fire Suppression	\$2,332
<b>22 – Plumbing Totals</b>	<b>\$4,520</b>
Plumbing	\$4,520
<b>23 – HVAC Totals</b>	<b>NIC</b>
<b>26 – Electrical Totals</b>	<b>\$64,515</b>
Electrical	\$64,515
<b>28 – Electronic Safety and Security Totals</b>	<b>NIC</b>
<hr/>	
<b>ESTIMATE TOTAL</b>	<b>\$775,199</b>
<hr/>	

<b>ALTERNATE #1 – Costs to remove air lock unit</b>	<b>\$2,931</b>
---	----------------

## EXHIBIT A-4

# CLARIFICATIONS & QUALIFICATIONS



**PROJECT:** Cumberland County Jail Existing Medical Space Upgrades

**PROJECT ADDRESS:** 50 County Way, Portland, Maine

**DATE:** 7/2/25

## GENERAL QUALIFICATIONS

1. Project completion and start date are contingent upon proof of financing, award of contract and receipt of the
2. building permit and/or Chage Order
3. A 6-month on-site construction schedule is anticipated, without material or weather delays. Schedule is contingent upon procurement of material lead times
4. In addition to the Qualifications and Assumptions noted below, all estimate scope descriptions, quantities, images, and notes serve to specify what is included in this evaluation.
5. We have based our proposal upon receiving an unoccupied work area.
6. All work is to be completed by other contractors if open contracts exist.
7. Normal working hours are the basis for labor costs. Overtime and shift differential expenses are not included.
8. A 5.0% Construction Contingency is included.
9. Escalation is not included.
10. General Liability, Workers Compensation, Automobile Insurance, and Excess Liability Insurance are included.
11. Builder's Risk insurance costs is included.
12. A Performance & Payment Bond is included.
13. Building Permit is not included. Building Permit and coordination with Authority Having Jurisdiction is by owner.
14. Our proposal excludes 5.5% Maine Sales Tax.
15. Dumpsters will be provided for all construction debris related to our scope.
16. Construction final cleaning has been included.
17. Detention hardware is currently at 26 week lead time.
18. Cell Padding is included at interior walls, interior room door and frame and floor at Isolation Room 143 ONLY. All interior fixtures are to remain existing. Cell padding lead time is currently 8 months.
19. Assumes costs to re-mobilize for installation of long lead time items.
20. Temporary utility access will be off existing facility systems. All consumption charges are by Others. These include temporary power and temporary water.
21. We assume the MEP design has been coordinated during the design process. MEP scope will be as shown in drawings only.
22. We intend on using Procore at the Project Management Software.

## DIV 02 EXISTING CONDITIONS

1. Interior containment provisions and air-quality monitoring are not included.
  2. Vibration or sound monitoring is not included.
  3. Salvaging of existing building materials is not included unless specified otherwise.
  4. Demo of any existing concrete ceiling is excluded
  5. Removal and disposal of general building demolition material is included as coordinated through Sally Port. Coordination is contingent upon final review with owner
- 

### **DIV 03 CONCRETE**

1. All concrete scope is excluded
  2. All cutting, patching, coring, infills are excluded
- 

### **DIV 04 MASONRY**

3. All masonry scope is excluded
- 

### **DIV 05 METALS**

4. We do not include special paint finishes on steel. This includes and is not necessarily limited to color galvanizing, fluid applied thermos break coatings, and intumescent paint.
  5. This scope includes SS shower enclosure at Shower 149. Shower to be overlayed on existing tile.
- 

### **DIV 06 WOOD, PLASTICS, AND COMPOSITES**

1. Wood blocking is included only at half wall at Security 155 only. All wood blocking kiln-dried SPF or better.
  2. Includes millwork at Security 155 only as shown on drawings.
- 

### **DIV 07 THERMAL AND MOISTURE PROTECTION**

1. No scope of work – NOT USED
- 

### **DIV 08 OPENINGS**

---

1. Includes hardware only as shown in drawings. Includes Kanescree as shown in drawings
- 

## **DIV 09 FINISHES**

1. Drywalls/metal studs carried for half wall at Security 155. System to be CFMF with plywood at both sides. Impact Resistant GWB at both sides. Includes FRP at Corridor Side only
  2. Flooring – Sealed concrete, Flooring as shown in drawings
  3. Acoustical ceilings – As shown in drawings
  4. Paint – As shown in drawings. Venting requirements are to be coordinated by the owner for exhausting fumes from existing space
- 

## **DIV 10/11/12 SPECIALTIES, EQUIPMENT, & FURNISHINGS**

1. All Toilet accessories/toilet partitions are excluded
  2. Signage is included
  3. Fire extinguishers are included.
  4. Cell Padding is included at interior walls, interior room door and frame and floor at Isolation Room 143 ONLY. All interior fixtures are to remain existing. Cell padding lead time is currently 8 months.
- 

## **DIV 13 SPECIAL CONSTRUCTION**

1. No scope of work – NOT USED.
- 

## **DIV 14 CONVEYING SYSTEMS**

1. No scope of work – NOT USED.
- 

## **DIV 21 FIRE PROTECTION**

1. No scope of work – NOT USED
-

## **DIV 22 PLUMBING**

1. Demo/Make safe is included. All Plumbing fixtures are excluded
- 

## **DIV 23 HVAC**

1. No scope of work – NOT USED
- 

## **DIV 26/27/28 ELECTRICAL**

1. Includes light fixtures as shown in drawings. Fixtures to be submitted and approved by architect. No spec for fixture type W1. Existing lighting is to remain in place until new lighting is delivered.
  2. Fire alarm is excluded
  3. Data as shown in locations on drawings only. All other data is excluded.
  4. Security/Access Control/AV is excluded.
- 

## **DIV 31/32/33 SITEWORK & SITE IMPROVEMENTS**

1. No scope of work – NOT USED
- 

## **EXCLUSIONS**

1. Design services and Fees, engineering, third party inspections and testing and evaluations.
  2. We exclude air blower door testing.
  3. Firestopping and Fireproofing are excluded.
  4. We exclude third party firestop inspections.
  5. Mock-Ups are excluded.
  6. We exclude receipt, storage or installation of typical Owner/Occupant equipment and/or furniture.
  7. We have not included the costs of city impact fees, or any utility company costs for permanent utility installation, their
-

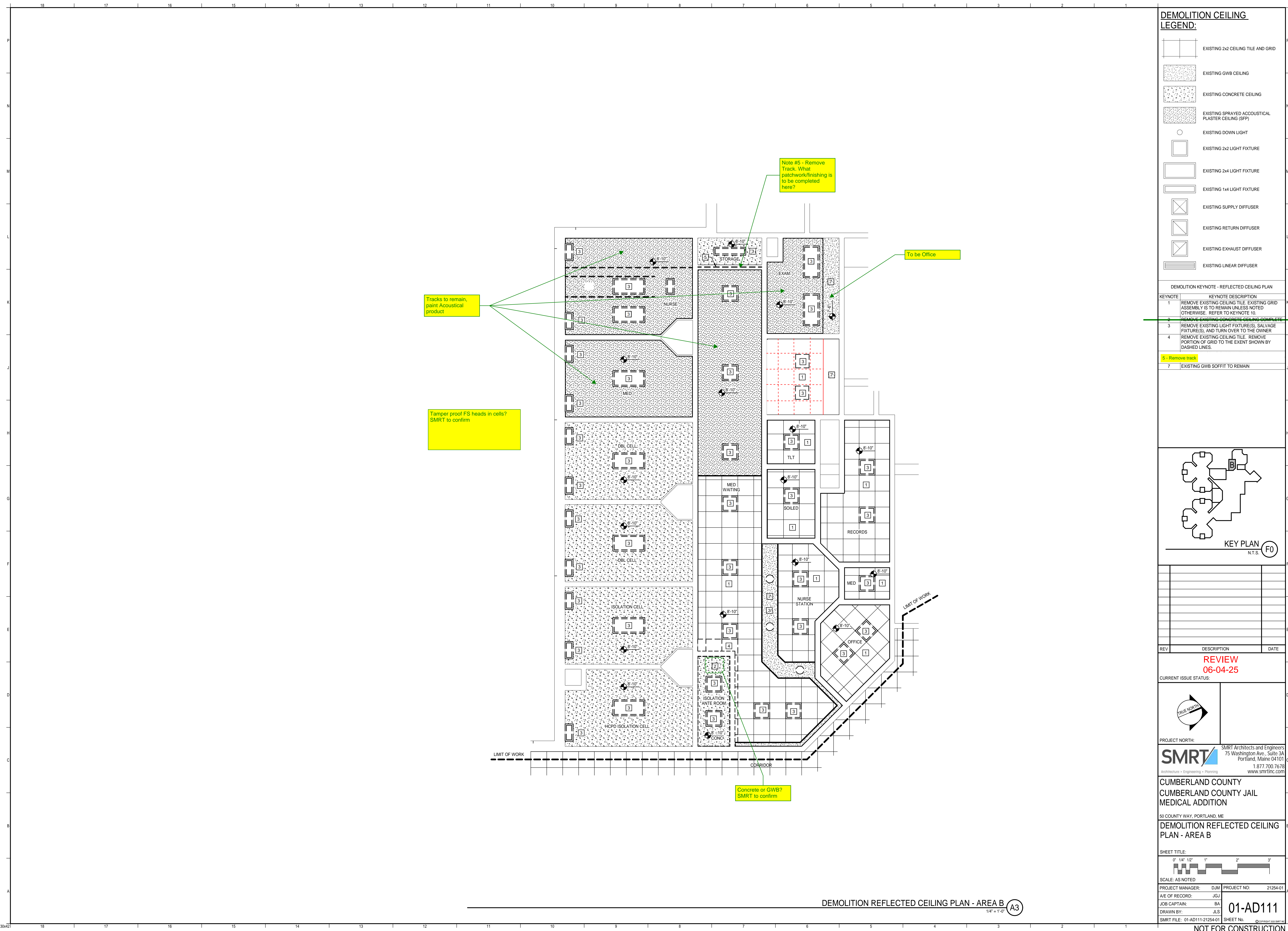
fees of any kind including engineering fees, connection fees, meter and transformer cost or inspections. We understand fees are by Others.

8. Independent Material Testing & Inspection services are by Others
9. We exclude the cost to test or remove or replace any hazardous or unsuitable materials including but not limited to asbestos, lead, PCBs, or contaminated soils.
10. Excludes bituminous coatings at of hollow metal door frames.
11. We exclude blasting.
12. We exclude phasing & inability to work.
13. We exclude caulking of furniture and equipment.
14. Facility production impacts.
15. Vibration monitoring
16. All shoring is excluded.
17. We exclude ledge, rock or large boulder removal.
18. We have not included any moisture mitigation for slabs.
19. Seismic calculations and restraints for mechanical, plumbing, electrical, and acoustical ceilings.
20. Security, Access Control, CCTV is excluded.
21. Patching of existing fireproofing and fireproofing areas
22. Acoustical treatment is excluded. Patching of existing acoustical treatments is excluded.
23. Smoke detector and Fire Alarm is excluded
24. All shoring is excluded.
25. We exclude ledge, rock or large boulder removal.
26. We have not included any moisture mitigation for slabs.
27. Floor prep at existing slab, or locations of existing concrete is excluded.
28. Seismic calculations and restraints for mechanical, plumbing, electrical, and acoustical ceilings.
29. All testing/balancing/reporting is excluded
30. Excludes any costs associated with commissioning of plumbing, HVAC and controls, electrical, FA.
31. Any assumed warranties and guarantees of any other work not performed under contract by Landry/French
32. Pricing is based on issuance of drawings provided by SMRT, and reviewed with CCJ on 6/5/25. Specifications to follow original project documents. Pricing is contingent upon final issuance of ASI. Proposal and attachments will be confirmed with finalization of documents.
33. Pricing is to be finalized via issuance of Change Order. Retainage and closeout for original project to be closed out separately prior to start of Change Order work.

**END OF DOCUMENT**









- HEADING #5C – Manual Spring Deadlock- Shower**
- |     |                         |                      |
|-----|-------------------------|----------------------|
| 1   | Set Institutional Hinge | 204FM SS             |
| SFD |                         |                      |
| 1   | Deadlock                | 1070A-1 HM           |
| SFD |                         |                      |
| 1   | Raised Pull             | 212C                 |
| SFD |                         |                      |
| 1   | Flush Pull              | 214S (interior side) |
| SFD |                         |                      |
| 1   | Set Door Silencers      | 608                  |
| RO  |                         |                      |
- HEADING #12 - Cuff Pass**
- |     |                |                      |
|-----|----------------|----------------------|
| 2   | Hinges         | 203FS (Without Stop) |
| SFD |                |                      |
| 1   | Lock           | 1017AT (Thumb Turn)  |
| SFD |                |                      |
| 1   | Mogul Cylinder | ASSA                 |

Retrofit locks to provide keyed access. ME to follow up

Provide Spec from manufacturer?

Kanescreen for the mesh

SECURITY MESH PANEL WITH 3/8" POLYCARBONATE SHEET FASTENED TO MESH FRAME ON SHOWER SIDE WITH SECURITY FASTENERS

SECURITY MESH DOOR ASSEMBLY

DOOR PULL

DEADLOCK

SANDBLAST POLYCARBONATE (CORRIDOR SIDE) TO EXTENT SHOWN, FOR PRIVACY

SECURITY MESH PANEL WITH 3/8" POLYCARBONATE SHEET FASTENED TO MESH FRAME ON SHOWER SIDE WITH SECURITY FASTENERS

CLIFF PASS

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

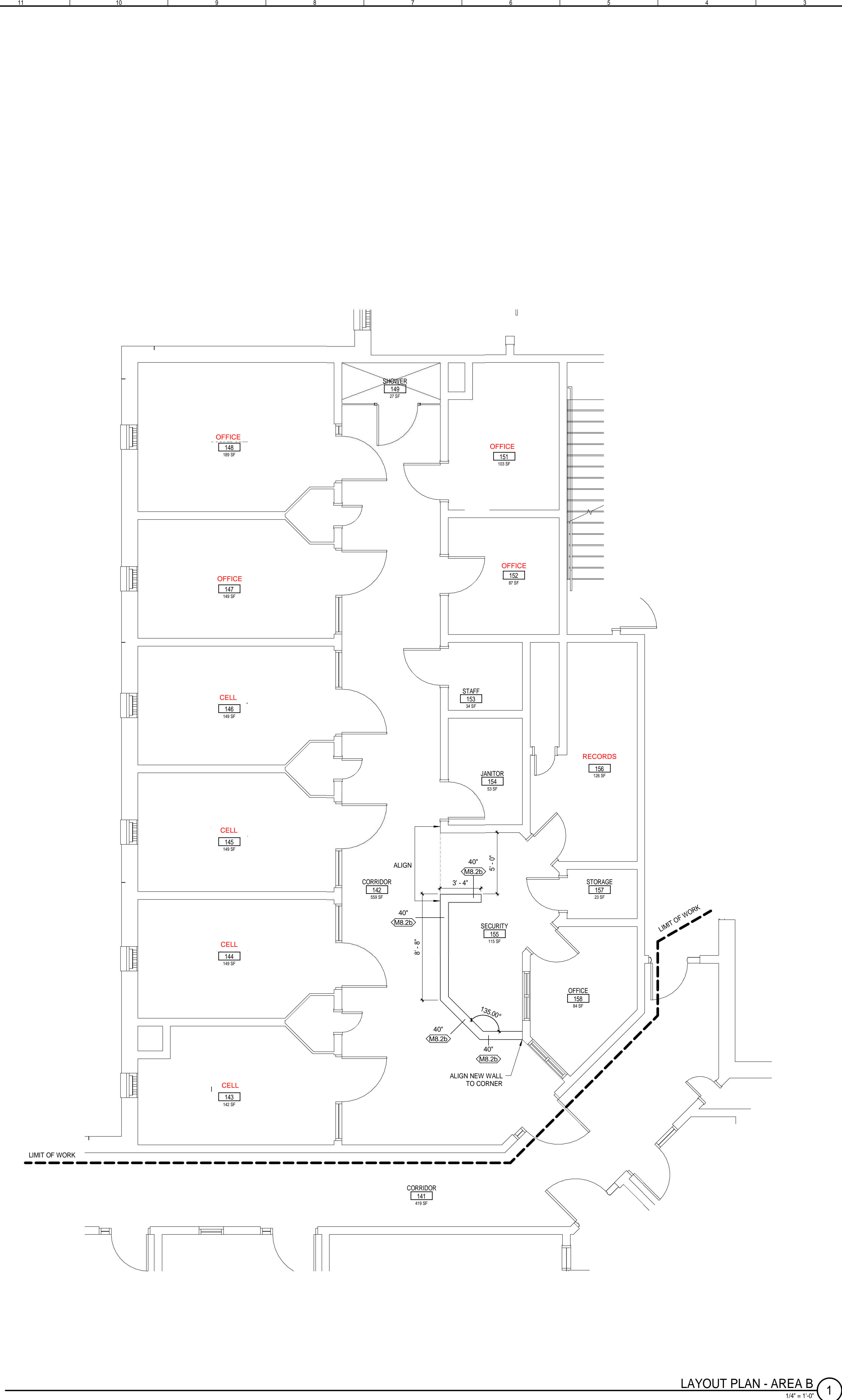
SEE SCHEDULE

SEE SCHEDULE

SEE SCHEDULE

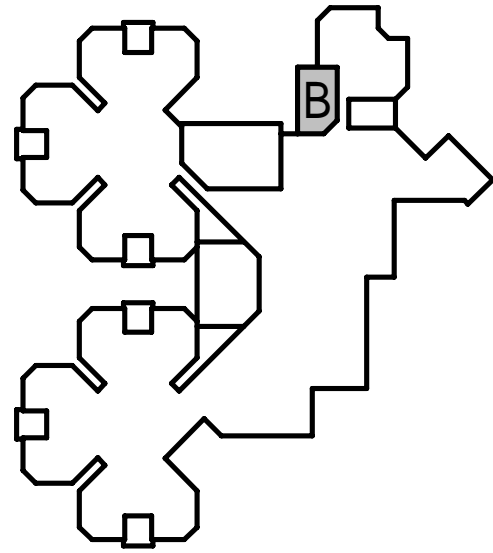


P  
N  
M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



LAYOUT PLAN NOTES:

1. SEE G1001 FOR GENERAL PROJECT NOTES, LEGENDS, AND ABBREVIATIONS.
2. SEE G1002 FOR GENERAL MOUNTING HEIGHTS, TOP OF WALL DETAILS, PARTITION TYPES, ROOF TYPES, AND KEYNOTES.
3. CONTRACTOR IS RESPONSIBLE FOR REVIEWING CODE COMPLIANCE PLANS AND NOTIFYING THE ARCHITECT OF CONFLICTS BETWEEN WHAT IS IN THE FIELD AND ON THE CODE DOCUMENTS.
4. DIMENSIONS ARE FACE OF CONCRETE, FACE OF MASONRY, AND FACE OF STUD, UNLESS NOTED OTHERWISE.
5. DOOR JAMBS (HINGE SIDE) SHALL BE 6" FROM CORNER IN STUD PARTITIONS AND 8" FROM CORNER IN MASONRY PARTITIONS UNLESS DIMENSIONED OTHERWISE. DOORS SHOWN DIMENSIONED TO CENTERLINE ARE TO CENTERLINE OF OVERALL FRAME WIDTH.
6. REFER TO DETAILS FOR ADDITIONAL DIMENSIONING INFORMATION.
7. FURNITURE AND OWNER PROVIDED EQUIPMENT ARE INDICATED BY DASHED LINE TYPE.
8. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF OWNER PROVIDED EQUIPMENT INCLUDING BUT NOT LIMITED TO DIMENSIONAL INFORMATION, AND MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS.
9. CENTER FLOOR DRAINS IN SPACE UNLESS INDICATED OTHERWISE.
10. MASONRY OPENINGS ARE INDICATED AS NOMINAL AND SHALL BE CONSTRUCTED TO MODULE. (6'-0" MO = 6'-0 3/8". COORDINATE FINAL MASONRY OPENING DIMENSIONS WITH OPENING DETAILS.
11. ALL ANGLES ARE 45 OR 90 DEGREES UNLESS NOTED OTHERWISE.

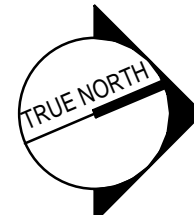


KEY PLAN F0  
N.T.S.

REV	DESCRIPTION	DATE

REVIEW  
06-04-25

CURRENT ISSUE STATUS:



PROJECT NORTH:



SMRT Architects and Engineers  
75 Washington Ave., Suite 3A  
Portland, Maine 04101  
1.877.700.7678  
www.smrtninc.com

CUMBERLAND COUNTY  
CUMBERLAND COUNTY JAIL  
MEDICAL ADDITION

50 COUNTY WAY, PORTLAND, ME

LAYOUT PLAN - AREA B

SHEET TITLE:



SCALE: AS NOTED

PROJECT MANAGER: DJM

PROJECT NO: 21254-01

AVE OF RECORD: JGJ

JOB CAPTAIN: BA

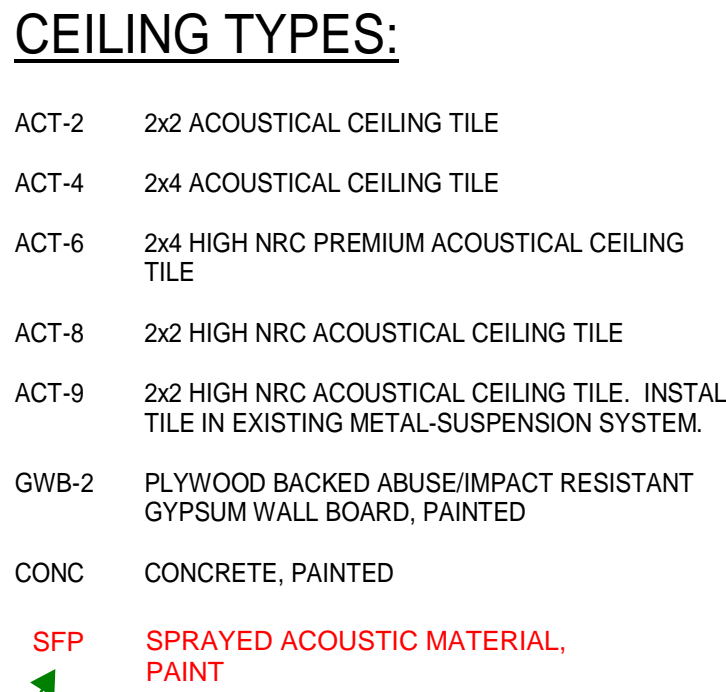
DRAWN BY: JLS

SMRT FILE: 01-AE112-21254-01

SHEET No. 01-AE112

NOT FOR CONSTRUCTION





- 

REV	DESCRIPTION	DATE

**CURRENT ISSUE STATUS:**



50 COUNTY WAY, PORTLAND, ME

REFLECTED CEILING PLAN - AREA  
B



PROJECT MANAGER:	DJM	PROJECT NO:	21254
------------------	-----	-------------	-------

A/E OF RECORD:	JGJ
----------------	-----

JOB CAPTAIN:	BA	01-AF122
--------------	----	----------

DRAWN BY: JLS

SMPT FILE: 01\_AE132\_21254\_01 SHEET No.

01-AE122

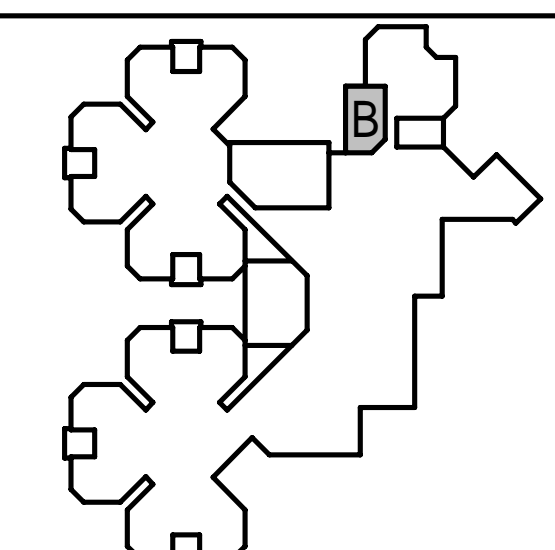
RE 122-21234-01 SHEET NO. 00 COPYRIGHT 2000 SMI

NOT FOR CONSTRUCTION





DENOTES EXTENT  
OF ACCENT FINISH

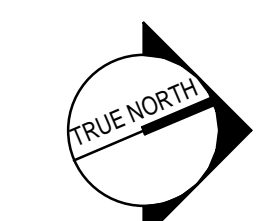


KEY PLAN F0  
N.T.S.

REV	DESCRIPTION	DATE

REVIEW  
06-04-25

CURRENT ISSUE STATUS:



PROJECT NORTH:



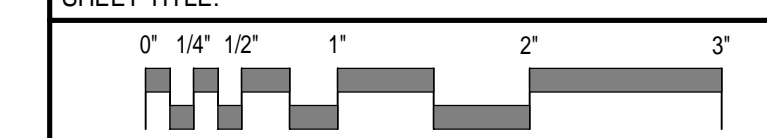
SMRT Architects and Engineers  
75 Washington Ave., Suite 300  
Portland, Maine 04101  
1.877.700.767  
www.smrtinc.com

CUMBERLAND COUNTY  
CUMBERLAND COUNTY JAIL  
MEDICAL ADDITION

50 COUNTY WAY, PORTLAND, ME

FINISH PLAN - AREA B

SHEET TITLE



SCALE: AS NOTED

PROJECT MANAGER:	DJM	PROJECT NO:	21254-0
------------------	-----	-------------	---------

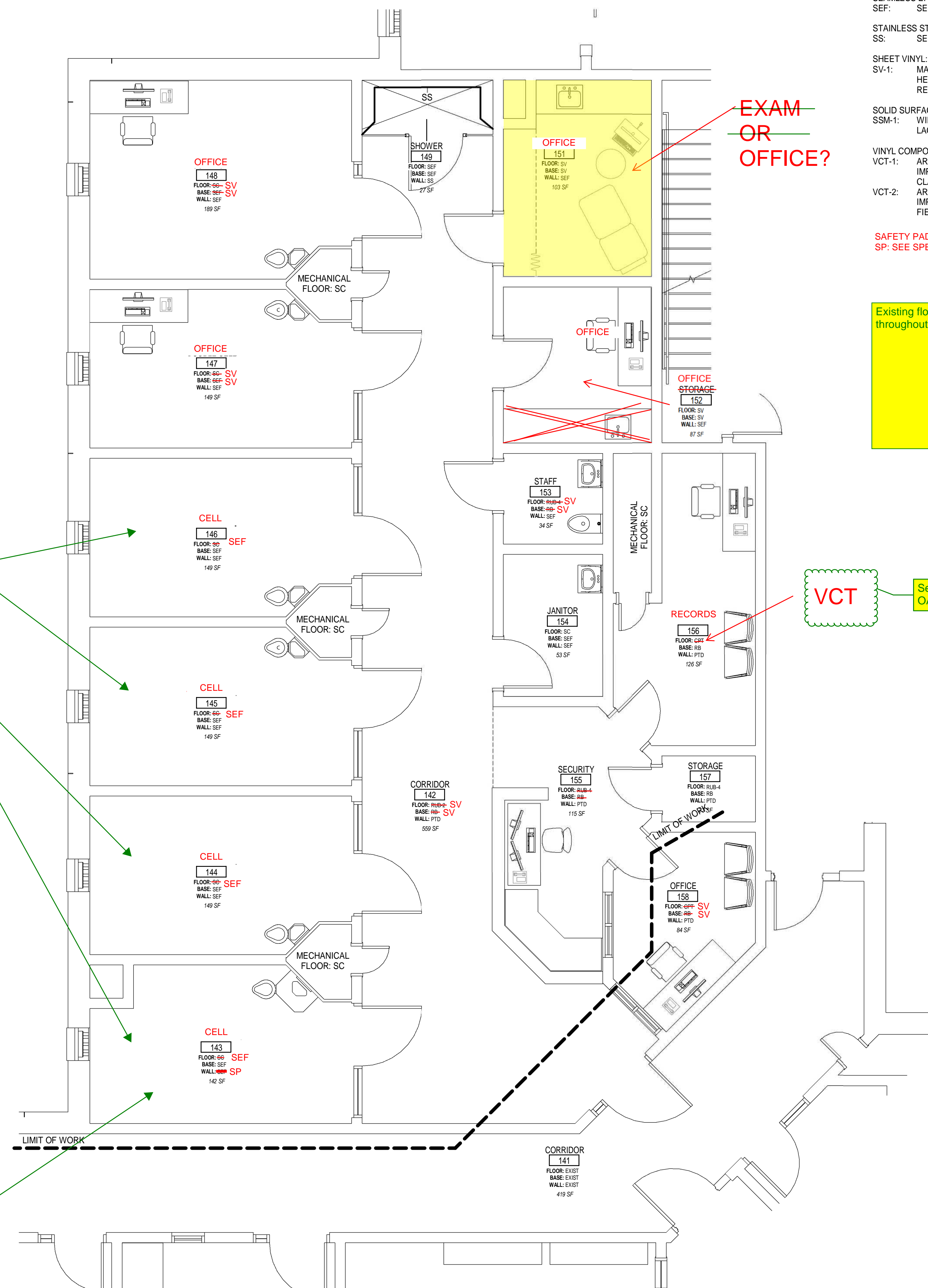
A/E OF RECORD:	JGJ
----------------	-----

JOB CAPTAIN: BA 01 ID100

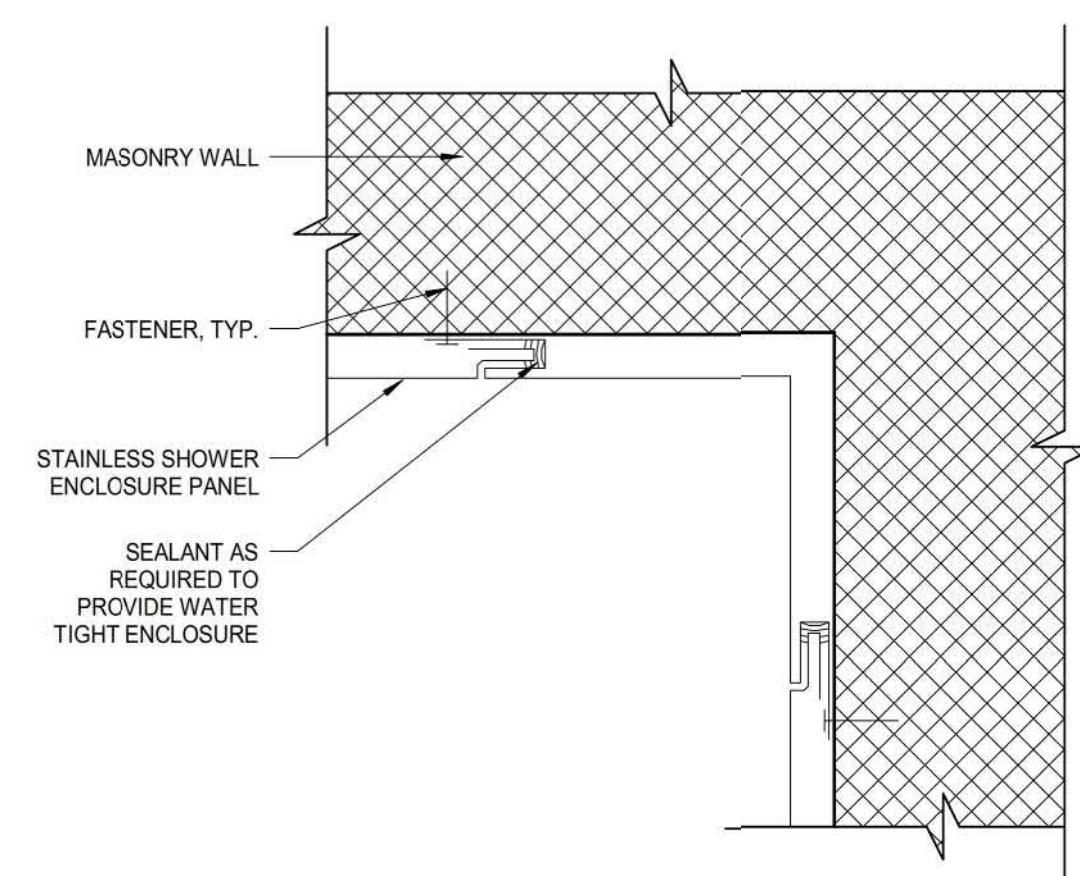
JOB CAPTAIN:	BA	01-D102
DRAWN BY:	LMC	

SMRT FILE: 01-ID102-21254-01	SHEET No
------------------------------	----------

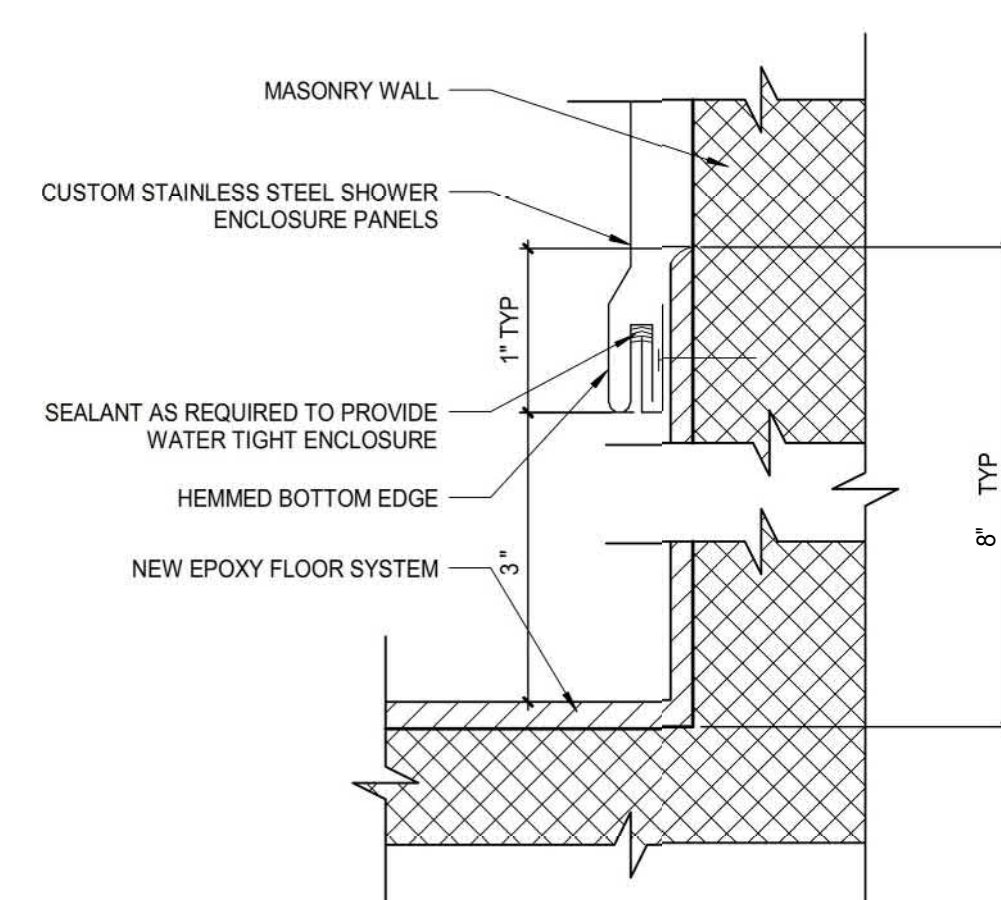
01-10102-21294-01 SHEET NO. © COPYRIGHT 2008 SMRT



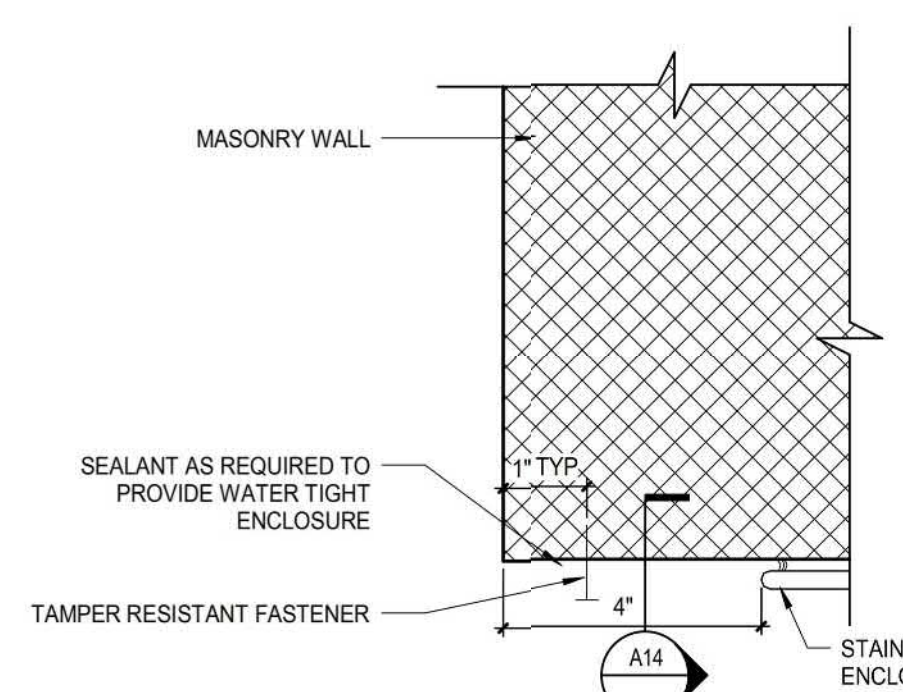
FINISH PLAN - AREA B A3  
1/4" = 1'-0"



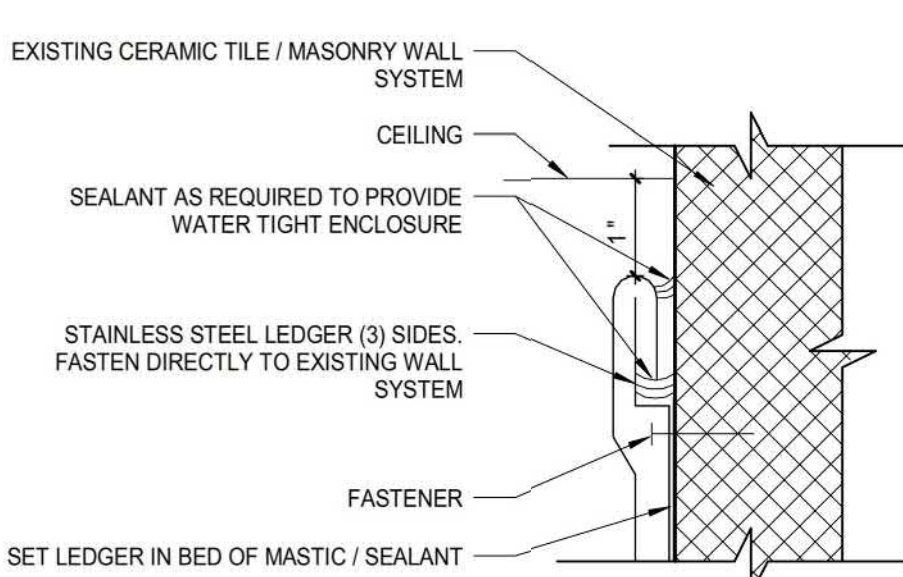
SS SHOWER PLAN DETAIL - CORNER D14  
12" = 1'-0"



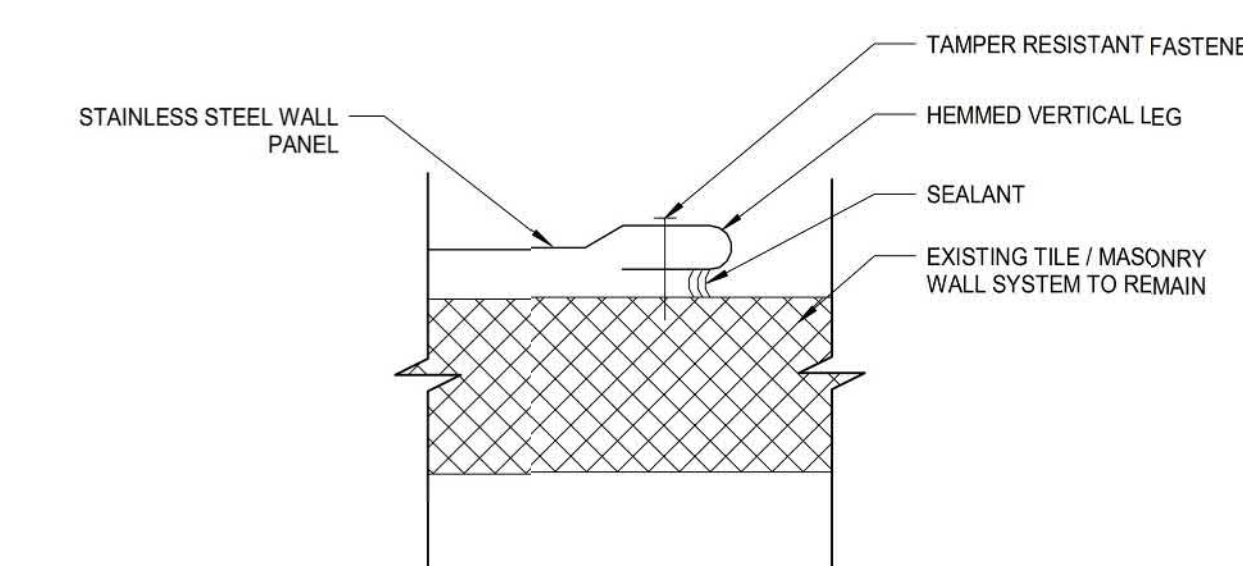
SS SHOWER BOTTOM EDGE DETAIL (A14)  
12" = 1'-0"



SS SHOWER PLAN DETAIL - VERTICAL EDGE E10



SS SHOWER TOP EDGE DETAIL (C10)



SS SHOWER VERTICAL EDGE DETAIL A10  
12" = 1'-0"

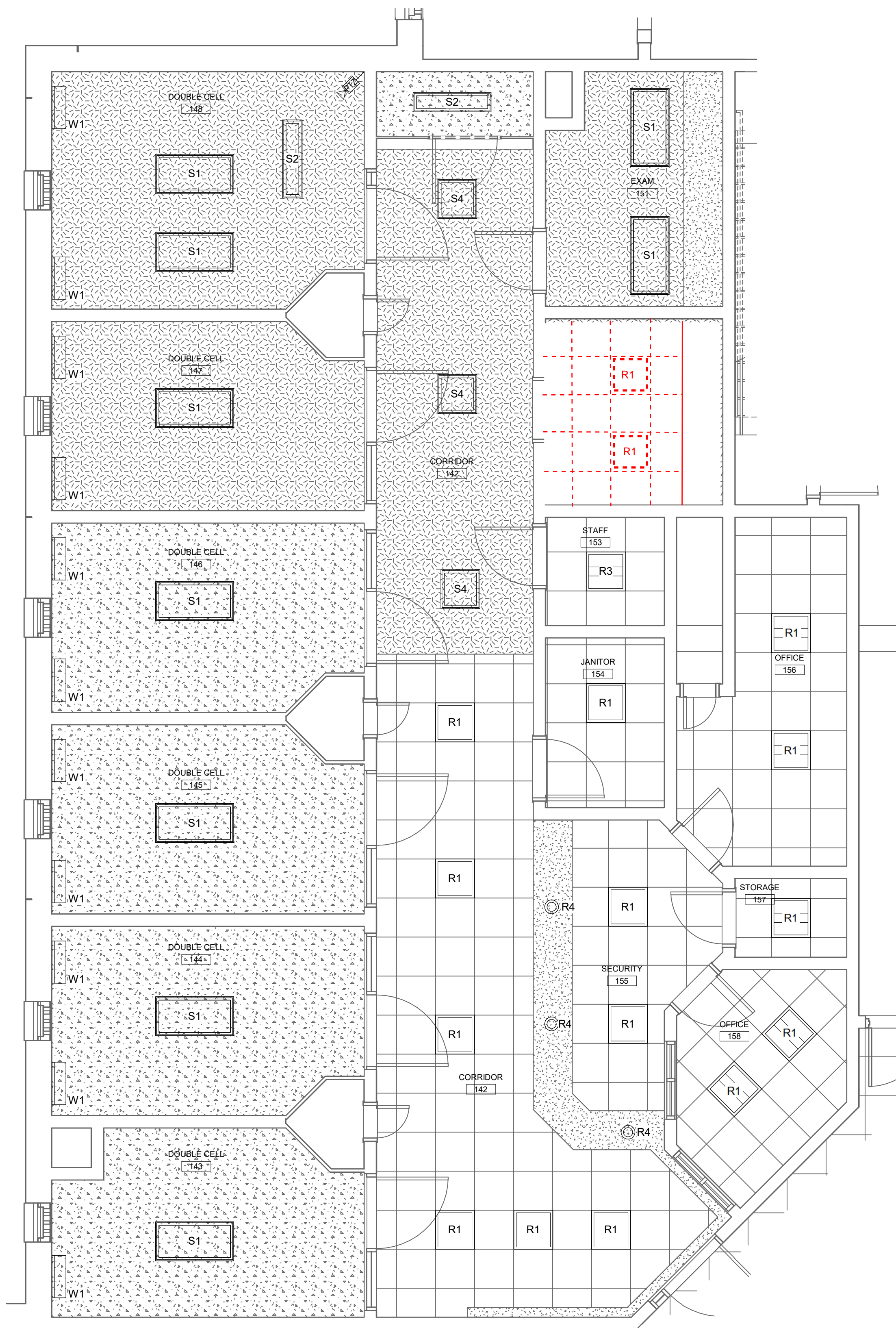
Sealed Concrete with  
caulk joint at  
floor/wall joint per  
OAC

ME to clarify extents  
of safety padding



CONSTRUCTION NOTES:

1. INSTALL LIGHT FIXTURES IN SAME PLACE AS EXISTING TO BE REMOVED FIXTURES. REUTILIZE EXISTING WIRING, CIRCUITRY AND CONTROL MEANS.
2. INSTALL NEW CAMERA BOX AND CONDUIT IN ROOM 148. REFER TO SECURITY LEGEND TO CONFIRM SIZING OF BOX AND CONDUIT.
3. INSTALL NEW BOXES, CONDUIT AND DEVICES IN NEW CASE WORK AT SECURITY DESK 155. REUTILIZE EXISTING CIRCUITRY AND WIRING. EXTEND WIRING AS NEEDED.



A18 LIGHTING FLOOR PLAN - AREA B

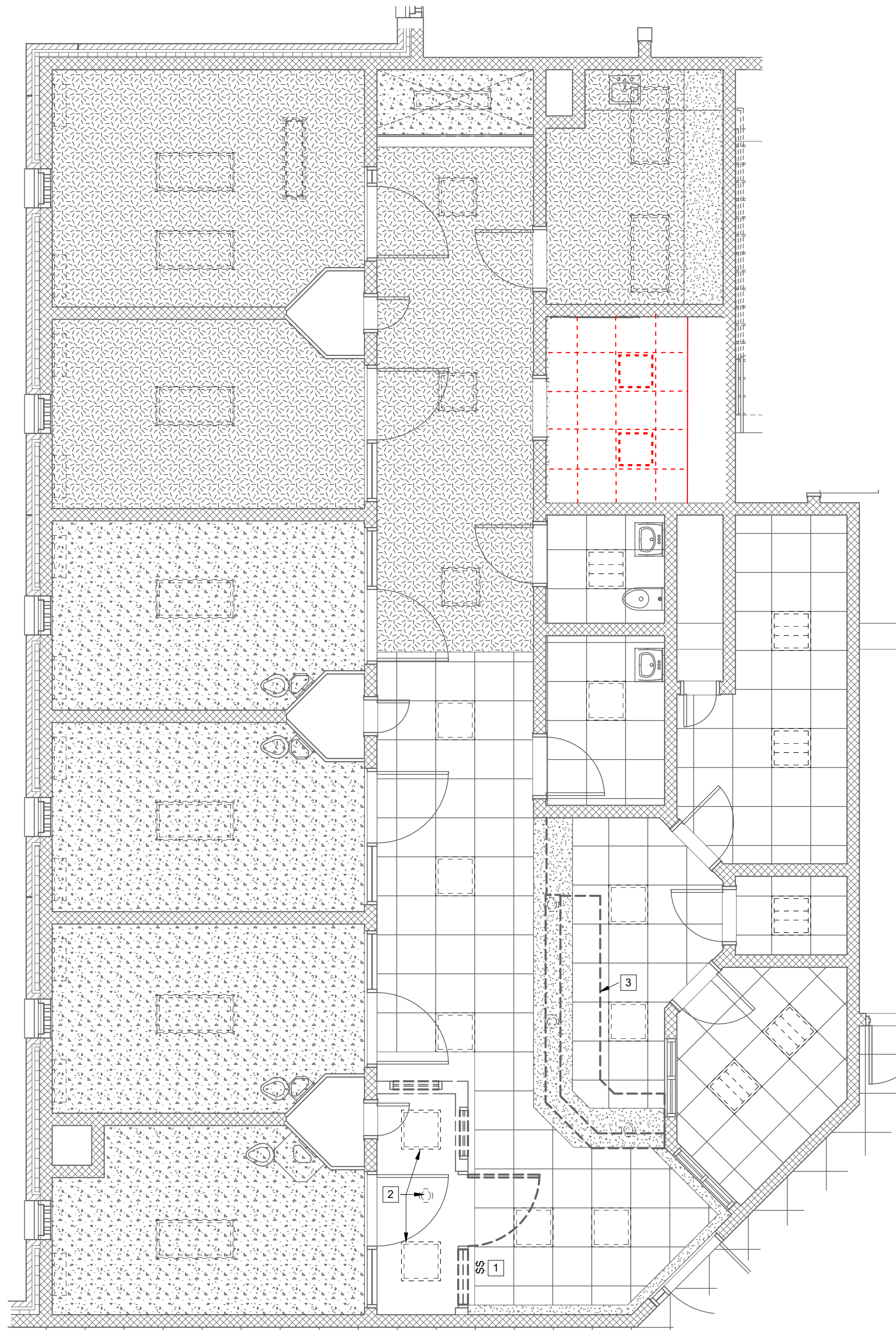
1/4" = 1'-0"

DEMOLITION NOTES

1. ALL EXISTING WIRING AND CONTROL MEANS TO EXISTING LIGHT FIXTURES TO BE REMOVED. SHALL BE MAINTAINED AND RE USED FOR NEW LIGHTING FIXTURES. UNLESS NOTED IN DEMO KEYED NOTES.
2. ALL EXISTING FIXTURES SHALL BE REMOVED, PRESERVED AND GIVEN TO CCJ MAINTENANCE.

DEMOLITION KEYED NOTES

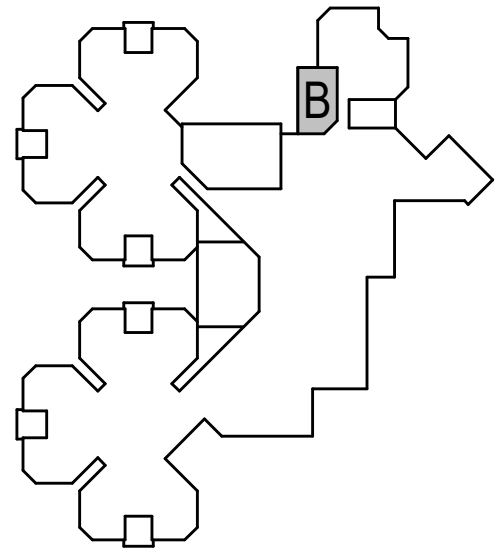
1. REMOVE TWO EXISTING SWITCHES AND WIRING BACK TO SOURCE.
2. REMOVE THREE EXISTING LIGHT FIXTURES, CONDUIT AND WIRING BACK TO SOURCE.
3. REMOVE EXISTING POWER, DATA AND COMMUNICATION DEVICES BACK. IN TO BE REMOVED CASE WORK TO NEAREST TERMINATION POINT. MAINTAIN WIRE INTEGRITY FOR REUTILIZATION IN NEW CASE WORK.



A8 DEMOLITION LIGHTING FLOOR PLAN - AREA B

1/4" = 1'-0"

**Allied Engineering**  
Structural Mechanical Electrical Plumbing  
160 Veranda Street  
Portland, Maine 04103  
P: 207.221.2260  
F: 207.221.2266  
Web: www.allied-eng.com

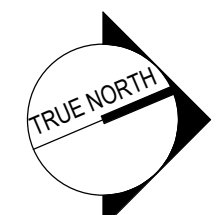


KEY PLAN F0  
N.T.S.

REV	DESCRIPTION	DATE
-----	-------------	------

REVIEW  
06-04-25

CURRENT ISSUE STATUS:



PROJECT NORTH:

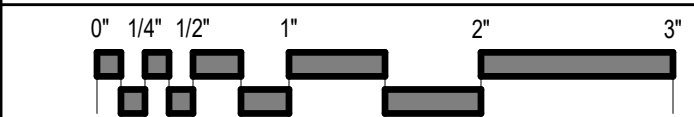
**SMRT**  
Architecture • Engineering • Planning

SMRT Architects and Engineers  
75 Washington Ave., Suite 3A  
Portland, Maine 04101  
1.877.700.7678  
www.smrtinc.com

CUMBERLAND COUNTY  
CUMBERLAND COUNTY JAIL  
MEDICAL ADDITION

LIGHTING FLOOR PLAN - AREA B

SHEET TITLE:



SCALE: AS NOTED

PROJECT MANAGER: BG

AVE OF RECORD: RT

JOB CAPTAIN: RT

DRAWN BY: RT

SMRT FILE: 01-EL101-21254-01

PROJECT NO:

21254-01

JOB CAPTAIN:

RT

DRAWN BY:

RT

SMRT FILE:

01-EL101-21254-01

01-EL101

SHEET No.

01-EL101-21254-01

©Copyright 2006 SMRT Inc.

NOT FOR CONSTRUCTION

**SECTION 117920**

**SAFETY PADDING**

**PART 1 - GENERAL**

**1.1 SCOPE**

- A. Provide all labor and material required to furnish and install protection padding (walls, floors, doors, frames and ceilings) in safety cells, seclusion rooms, and time-out rooms as indicated in drawings and specified herein.
- B. Submit shop drawings showing room layout, joint placements, transition details, floor drain detail, plumbing fixture detail, bench padding, thickness of materials and typical requirements.
- C. Submit samples – minimum of 3"x3" in size – for approval and acceptance of protective padding system.
- D. Submit manufacturer's maintenance instructions

**1.2 WARRANTY**

- A. Protective Padding Contractor shall repair or replace any defective material or work for a period of one (1) year from the date of project completion. This warranty shall also include any loss of adhesion, resiliency or delaminating. This warranty does not cover the damage caused by sharp or burning objects.

**1.3 INSTALLER QUALIFICATIONS**

- A. Installer shall:
  - 1. Have a minimum of five (5) years experience in the fabrication and installation of protective padding or work similar to that which is described herein.
  - 2. Have completed ten (10) successful installations of protective padding.

**PART 2 - PRODUCTS**

**2.1 SUBSTITUTIONS**

- A. Materials shall be as specified herein, except, consideration shall be given to other products that meet or exceed the performance of those specified if documentation is received not less than eight (8) business days prior to the date of bid opening in accordance with Division 1 Section "Product Requirements".

## 2.2 GENERAL

- A. Protective padding material shall be synthetic resinous material as manufactured by:
  - 1. Gold Medal Safety Padding as manufactured by Marathon Engineering Corporation, PO Box 310, Mountain Ranch, California 95246, (209) 754-5121, [www.goldmedalsafetypadding.com](http://www.goldmedalsafetypadding.com)
- B. All vertical panels shall be prefabricated. The panels are to be 1" nominal thickness bonded to oriented strand board 7/16" thickness, for a total wall panel thickness of 1-1/2" thick.
- C. Door jambs shall be 1/2" thickness padding with a durometer of 60 plus or minus 5, for a total of 1" thickness on door jambs.
- D. All floor panels shall be prefabricated. The panels are to be 1/2" padding bonded on oriented strand board 7/16" thickness, for a nominal thickness of 1".
  - 1. Provide sloped transition under door to adjacent floor elevation height.
  - 2. Provide manufacturer's drain assembly at floor drain.

## 2.3 PROPERTIES

- A. In addition to meeting the minimum physical properties when cured, protective padding shall contain a flame spread and smoke index which when tested in accordance with ASTM E84 is given a CLASS A FIRE RATING.
- B. Padding must also conform to the following criteria.
  - 1. Weight: approximately 5 pounds per square foot
  - 2. Tensile strength range: 300 P.S.I. minimum ASTM D412
  - 3. Temperature stability: unaffected from 20 degrees F to 120 degrees F
  - 4. Moisture absorption: 0.8% to 1.05% by weight
  - 5. Compression set: 90% recovery after 72 hours
  - 6. Compression properties: 30 PSI to 70 PSI at 50% modulus
  - 7. Elongation at break: 150% typical ASTM D412
  - 8. Fungus resistance: no growth
- C. Fasteners for use in security vertical panels shall be manufacturer's system fasteners.

## PART 3 - EXECUTION

### 3.1 ENVIRONMENTAL CONDITIONS:

- A. A minimum temperature of 65 degrees F shall be maintained for the duration of the installation.

### 3.2 INSTALLATION OF PROTECTIVE PADDING

- A. Inspect surface(s) to receive work under this section. Notify the architect in writing if surface(s) is not satisfactory for application of materials. Commencement of work constitutes acceptance of surface.



1. All concrete and concrete masonry surfaces shall have no less than sixty-day (60) curing duration.
  2. Concrete surfaces shall not have curing compound applied.
- B. All vertical panels shall be mechanically fastened to walls.
- C. Provide minimum of sixteen (16) fasteners per 4' x 8' panel.
- D. Provide a gap of  $1/8'' \pm 1/16''$  between panels and fill with manufacturer's system filler. When fully cured, sand to meet adjacent edges.
- E. Fill all fastener holes will be filled with manufacturer's system filler and sand. Upon completion of all sanding of walls, doors, ceiling and floor, apply manufacturer's system topcoat.

**END OF SECTION 117920**

